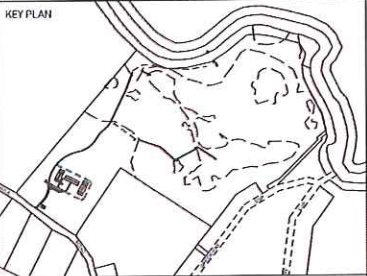




NOTES

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REV	DESCRIPTION	BY	CHK	DATE
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01 DEVELOPMENT APPLICATION JL CC 25.07.14

CONSULTANT TEAM
PROJECT MANAGER
MIDSON GROUP P/L
TOWN PLANNER
COWMAN STODDART
STRUCTURAL
JONES NICHOLSON
MECHANICAL & ELECTRICAL
JHA
FLORA FAUNA & BUSHFIRE
ECOLOGICAL AUSTRALIA

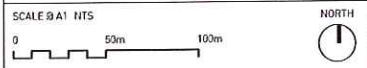
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ARCHITECT
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nominated architect: Gerard Outram NSW ARB 6316

PROJECT
Trinity Grammar School Environmental Centre

DRAWING TITLE
COVER SHEET

STATUS
DEVELOPMENT APPLICATION



PROJECT NO.	DRAWING NO.	ISSUE
13-033	ADA 000	01

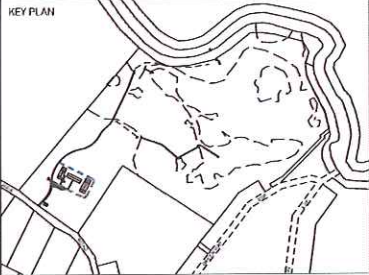
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DRAWING LIST

ADA000	COVER SHEET
ADA010	EXISTING SITE PLAN
ADA020	PROPOSED SITE PLAN
ADA030	ROAD / LANDSCAPE / ROOF PLAN
ADA100	GROUND FLOOR PLAN
ADA200	ELEVATIONS 01
ADA201	ELEVATIONS 02
ADA240	SITE WORKS
ADA300	PERSPECTIVE VIEWS



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- LEGEND:
- Crown Land
 - New 200mm Deep All Weather Gravel Track
 - Existing Track
 - 4m Wide Fire Vehicle Access
 - Boundary
 - 1% AEP Flood Level
 - Trees To Be Removed Shown Dashed Outlined
- APZ
- 01 Asset Protection Zone
 - 02 Woollamia Road Entry Point
 - 03 Existing Carport
 - 04 Existing Shed
 - 05 Reuse Of Existing Carport For Screened Service Yard / Main Refuse Store
 - 06 Stalled Road
 - 07 Main Site Location
 - 08 Caretakers Residence - Future Development
 - 09 Not Part Of This DA
 - 10 Pontoon & Creek Access - Future Development
 - 11 Not Part Of This DA
 - 12 30m Raised Boardwalk
 - 13 30m Raised Boardwalk
 - 14 Raised Working Platform
 - 15 Raised Viewing Platform
 - 16 Visitor Day Parking On Grass
 - 17 Pumpout Tank & Vehicle Turn Around
 - 18 Mini Bus Parking
 - 19 Car Parking
 - 20 Coach Drop Off Point
 - 21 Gas Bottle Store & Vehicle Turn Around
 - 22 Accessible Parking
 - 23 Main Entrance Path
 - 24 Senior Accommodation
 - 25 Long House
 - 26 Junior Accommodation
 - 27 Fire Pit
 - 28 Living Room
 - 29 4 Bed Student Accommodation
 - 30 8 Bed Student Accommodation
 - 31 Staff Accommodation
 - 32 Accessible Accommodation/Sick Bay
 - 33 Shower/Change Room
 - 34 Toilets
 - 35 Accessible Shower/Toilet
 - 36 Laundry
 - 37 Kitchen Store
 - 38 Cool Room
 - 39 Kitchen
 - 40 Multi-Purpose Hall
 - 41 Entrance Bridge
 - 42 Under Cover Area
 - 43 Class Room
 - 44 Staff Room
 - 45 Management Office
 - 46 Ginnies Room
 - 47 Storage
 - 48 Plant Room
 - 49 Book/Drying Room

01	DEVELOPMENT APPLICATION	JL	CC	25.07.14
REV	DESCRIPTION	BY	CHK	DATE

CONSULTANT TEAM
PROJECT MANAGER
MIDSON GROUP P/L
TOWN PLANNER
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PROJECT
**Trinity Grammar School
Environmental Centre**

DRAWING TITLE
EXISTING SITE PLAN

STATUS
DEVELOPMENT APPLICATION

SCALE @ A1 1:2000
0 50m 100m
NORTH

PROJECT NO. 13-033
DRAWING NO. ADA 010
ISSUE 01



NOTES

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KEY PLAN

LEGEND:

- Crown Land
- New 200mm Deep All Weather Gravel Track
- Existing Track
- 4m Wide Fire Vehicle Access
- Boundary
- 1% AEP Flood Level
- Trees To Be Removed Shown Dashed Outlined

APZ

- 01 Woollamia Road Entry Point
- 02 Existing Carport
- 03 Reuse Of Existing Carport For Screened Service Yard / Main Refuse Store
- 04 Sealed Road
- 05 Main Site Location
- 06 Caretakers Residence - Future Development
- 07 Not Part Of This DA
- 08 Pontoon & Creek Access - Future Development
- 09 Not Part Of This DA
- 10 30m Raised Boardwalk
- 11 30m Raised Boardwalk
- 12 Raised Working Platform
- 13 Raised Viewing Platform
- 14 Visitor Day Parking On Grass
- 15 Pumpout Tank & Vehicle Turn Around
- 16 Mini Bus Parking
- 17 Car Parking
- 18 Coach Drop Off Point
- 19 Gas Bottle Store & Vehicle Turn Around
- 20 Accessible Parking
- 21 Main Entrance Path
- 22 Senior Accommodation
- 23 Long House
- 24 Junior Accommodation
- 25 Fire Pit
- 26 Living Room
- 27 4 Bed Student Accommodation
- 28 8 Bed Student Accommodation
- 29 Staff Accommodation
- 30 Accessible Accommodation/Sick Bay
- 31 Shower/Change Room
- 32 Toilets
- 33 Accessible Shower/Toilet
- 34 Laundry
- 35 Kitchen Store
- 36 Cook Room
- 37 Kitchen
- 38 Multi Purpose Hall
- 39 Entrance Bridge
- 40 Under Cover Area
- 41 Class Room
- 42 Staff Room
- 43 Management Office
- 44 Canteen Room
- 45 Storage
- 46 Plant Room
- 47 Boots/Drying Room

01	DEVELOPMENT APPLICATION	JL	CC	25.07.14
REV	DESCRIPTION	BY	CHK	DATE

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MIDSON GROUP P/L

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PROJECT

Trinity Grammar School
Environmental Centre

DRAWING TITLE

PROPOSED SITE PLAN

STATUS

DEVELOPMENT APPLICATION

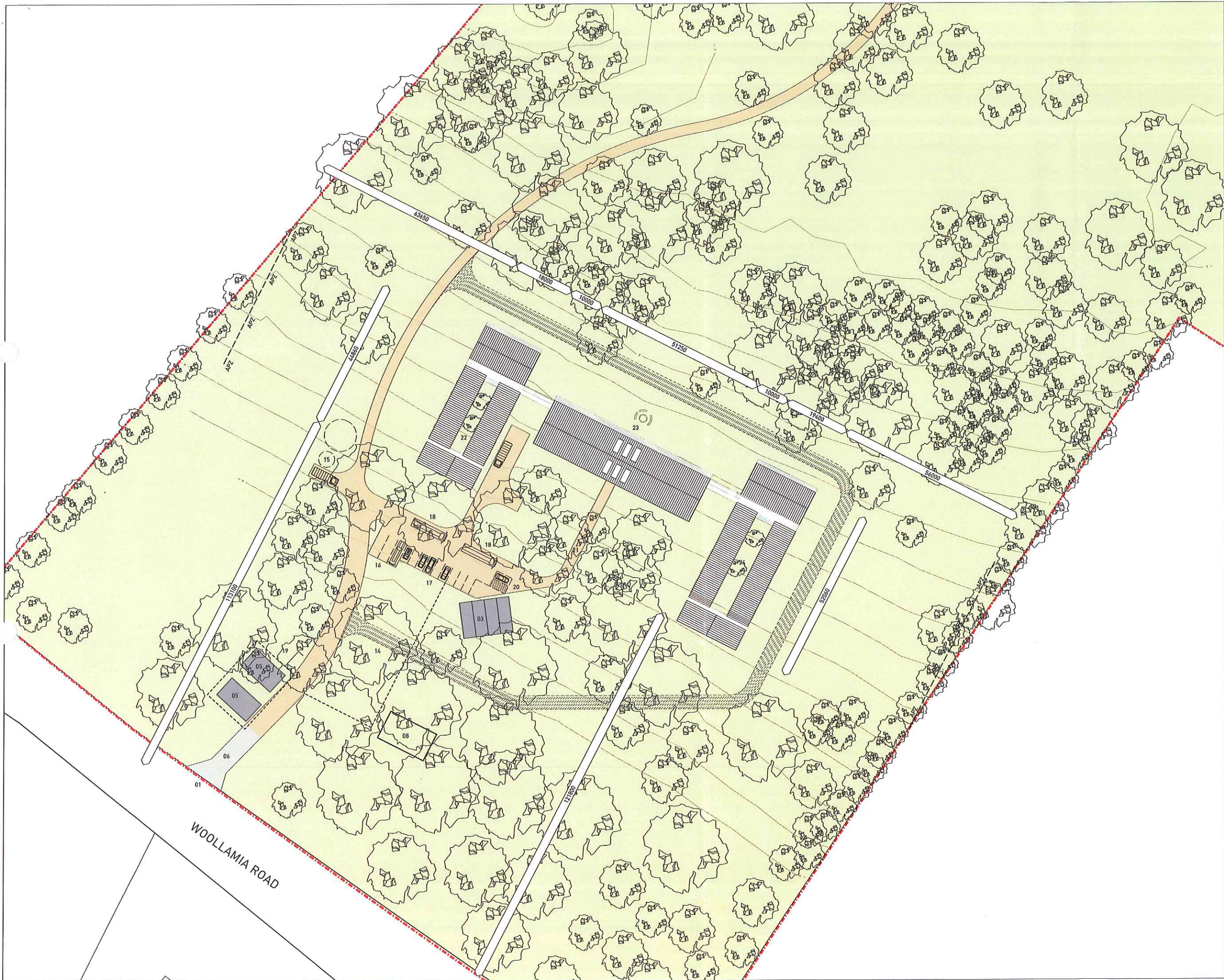
SCALE @ A1 1:2000

0 50m 100m

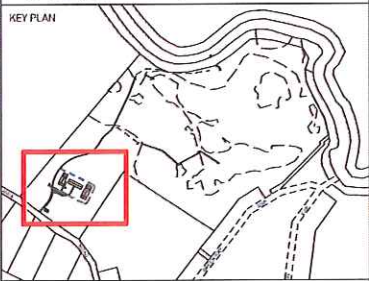
NORTH

PROJECT NO.	DRAWING NO.	ISSUE
13-033	ADA 020	01

Original Sheet Size A1 - 841 x 594mm



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- LEGEND:
- Crown Land
 - New 200mm Deep All Weather Gravel Track
 - Existing Track
 - 4m Wide Fire Vehicle Access
 - Boundary
 - 1% AEP Flood Level
 - Trees To Be Removed Shown Dashed Outlined
- APZ
- 01 Woolamia Road Entry Point
 - 02 Existing Carport
 - 03 Existing Shed
 - 04 Reuse Of Existing Carport For Screened Service Yard / Main Refuse Store
 - 05 Sealed Road
 - 06 Main Site Location
 - 07 Caretakers Residence - Future Development
 - 08 Not Part Of This DA
 - 09 Pontoon & Creek Access - Future Development
 - 10 Not Part Of This DA
 - 11 30m Raised Boardwalk
 - 12 30m Raised Boardwalk
 - 13 Raised Working Platform
 - 14 Visitor Day Parking On Grass
 - 15 Pumpout Tank & Vehicle Turn Around
 - 16 New Bus Parking
 - 17 Car Parking
 - 18 Coach Drop Off Point
 - 19 Gas Bottle Store & Vehicle Turn Around
 - 20 Accessible Parking
 - 21 Main Entrance Path
 - 22 Senior Accommodation
 - 23 Long House
 - 24 Junior Accommodation
 - 25 Fire Pit
 - 26 Living Room
 - 27 4 Bed Student Accommodation
 - 28 8 Bed Student Accommodation
 - 29 Staff Accommodation
 - 30 Accessible Accommodation/Sick Bay
 - 31 Shower/Change Room
 - 32 Toilets
 - 33 Accessible Shower/Toilet
 - 34 Laundry
 - 35 Kitchen Store
 - 36 Cool Room
 - 37 Kitchen
 - 38 Multi-Purpose Hall
 - 39 Entrance Bridge
 - 40 Under Cover Area
 - 41 Class Room
 - 42 Staff Room
 - 43 Management Office
 - 44 Comms Room
 - 45 Storage
 - 46 Plant Room
 - 47 Boots/Drying Room

01	DEVELOPMENT APPLICATION	JL	CC	25.07.14
REV	DESCRIPTION	BY	CHK	DATE
CONSULTANT TEAM				
PROJECT MANAGER				
MIDSON GROUP P/L				
TOWN PLANNER				
COWMAN STODDART				
STRUCTURAL				
JONES NICHOLSON				
MECHANICAL & ELECTRICAL				
JHA				
FLORA FAUNA & BUSHFIRE				
ECOLOGICAL AUSTRALIA				

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PROJECT

Trinity Grammar School
Environmental Centre

DRAWING TITLE

**ROAD / LANDSCAPE /
ROOF PLAN**

STATUS

DEVELOPMENT APPLICATION

SCALE @ A1 1:500

0 5 10m

NORTH

PROJECT NO.	DRAWING NO.	ISSUE
13-033	ADA 030	01



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KEY PLAN

LEGEND:

- Crown Land
- New 200mm Deep All Weather Gravel Track
- Existing Track
- 4m Wide Fire Vehicle Access
- Boundary
- 1% AEP Flood Level
- Trees To Be Removed Shown Dashed Outlined

Asset Protection Zone

- Woolamia Road Entry Point
- Existing Carport
- Existing Shed
- Reuse Of Existing Carport For Screened Service Yard / Main Refuse Store
- Sealed Road
- Main Site Location
- Caravans Residence - Future Development
- No Part Of This DA
- Pontoon & Creek Access - Future Development
- No Part Of This DA
- 30m Raised Boardwalk
- 30m Raised Boardwalk
- Raised Working Platform
- Raised Viewing Platform
- Visitor Day Parking On Grass
- Pumpout Tank & Vehicle Turn Around
- Mini Bus Parking
- Car Parking
- Coach Drop Off Point
- Gas Bottle Store & Vehicle Turn Around
- Accessible Parking
- Main Entrance Path
- Senior Accommodation
- Long House
- Junior Accommodation
- Fire Pit
- Living Room
- 4 Bed Student Accommodation
- 8 Bed Student Accommodation
- Staff Accommodation
- Accessible Accommodation/Sick Bay
- Shower/Change Room
- Toilets
- Accessible Shower/Toilet
- Laundry
- Kitchen Store
- Cool Room
- Kitchen
- Multi-Purpose Hall
- Entrance Bridge
- Under Cover Area
- Class Room
- Staff Room
- Management Office
- Comms Room
- Storage
- Plan Room
- Book/Drying Room

01	DEVELOPMENT APPLICATION	JL	CC	25.07.14
REV	DESCRIPTION	BY	CHK	DATE

CONSULTANT TEAM

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MIDSON GROUP P/L

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PROJECT

Trinity Grammar School
Environmental Centre

DRAWING TITLE

GROUND FLOOR PLAN

STATUS

DEVELOPMENT APPLICATION

SCALE @ A1 1:200

0 5 10m

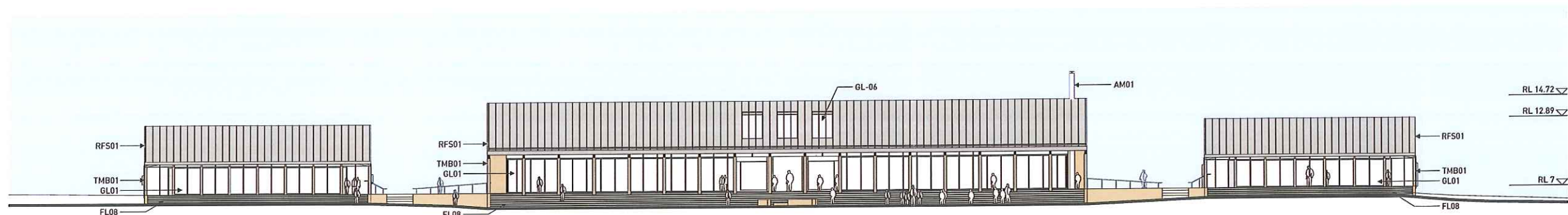
NORTH

PROJECT NO.
13-033

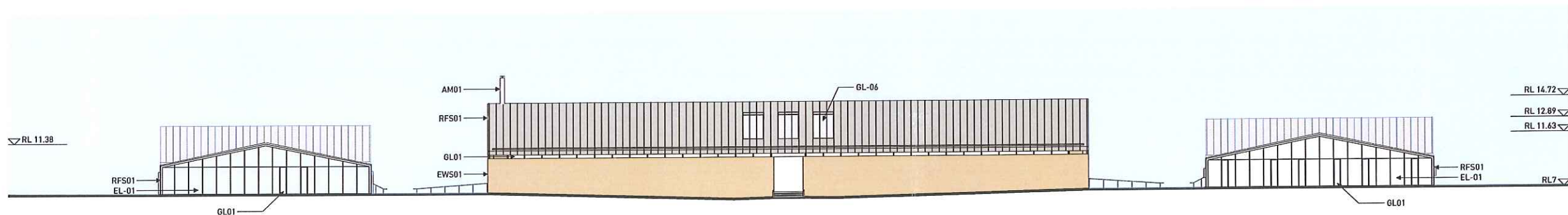
DRAWING NO.
ADA 100

ISSUE
01

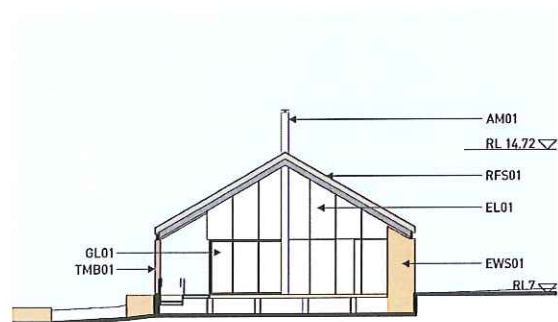
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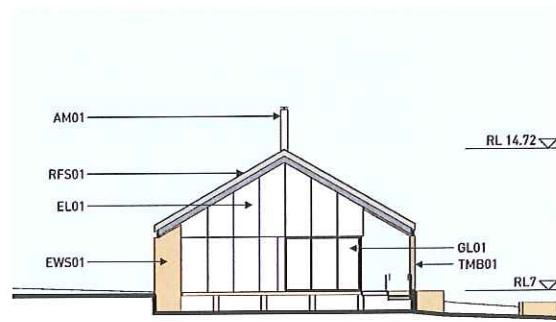
ELEVATION A - NORTH



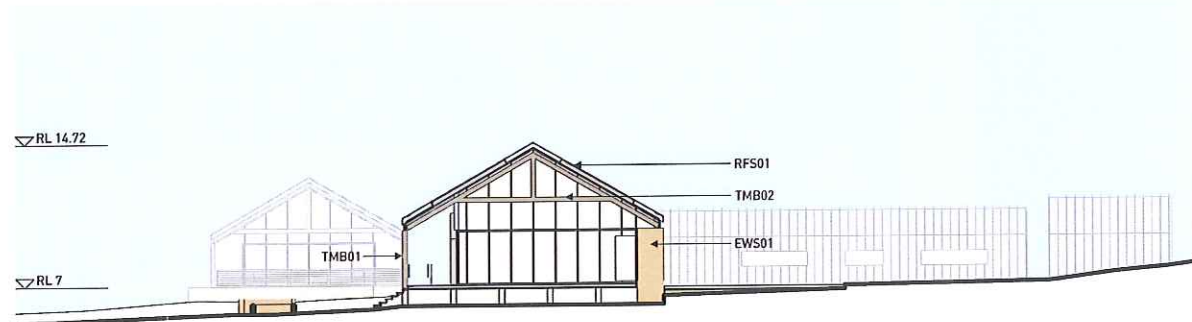
ELEVATION B - SOUTH



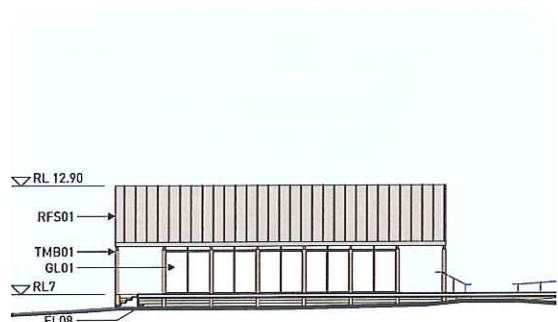
ELEVATION C - LONG HOUSE EAST



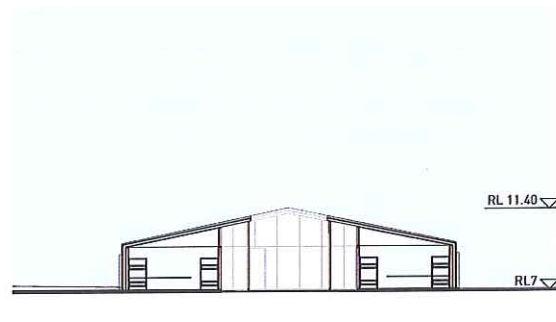
ELEVATION D - LONG HOUSE WEST



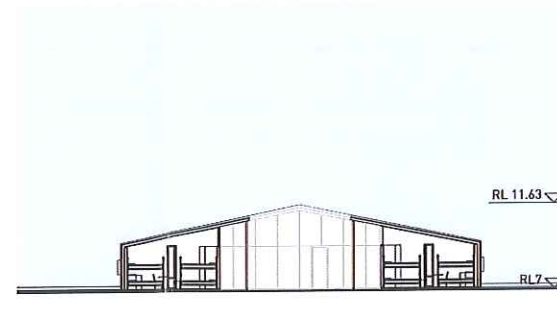
SECTION E - LONG HOUSE



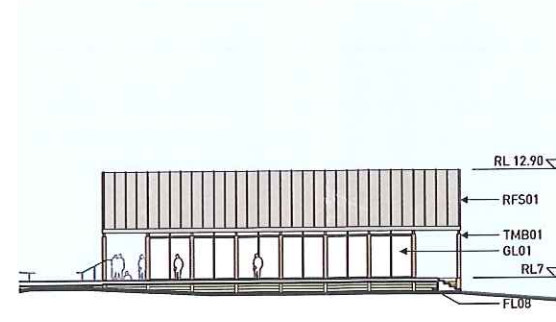
ELEVATION F - LIVING SENIOR



SECTION G - ACCOMMODATION SENIOR

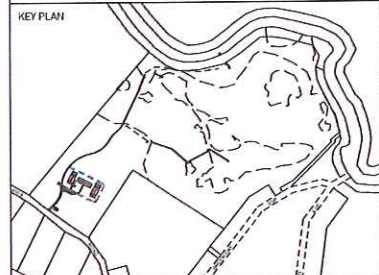


SECTION H - ACCOMMODATION JUNIOR



ELEVATION J - LIVING JUNIOR

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- MATERIALS LEGEND
- AM01 Stainless Steel Stack
 - EL01 Stained Plywood Cladding
 - EWS01 Rammed Earth Wall
 - FL08 Hardwood Timber Decking
 - GL01 Double Glazed Panel within Aluminium Frame
 - GL06 Double Glazed Panel Skylight with Aluminium Frame
 - TMB01 Hardwood Timber Column
 - TMB02 Hardwood Timber Truss
 - RFS01 Standing Seam Roof

REV	DESCRIPTION	BY	CHK	DATE
-----	-------------	----	-----	------

CONSULTANT TEAM
PROJECT MANAGER
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TOWN PLANNER
COWMAN STODDART
STRUCTURAL
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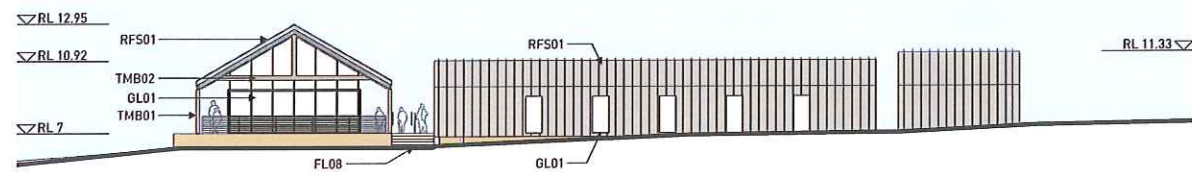
PROJECT
**Trinity Grammar School
Environmental Centre**

DRAWING TITLE
ELEVATIONS 01

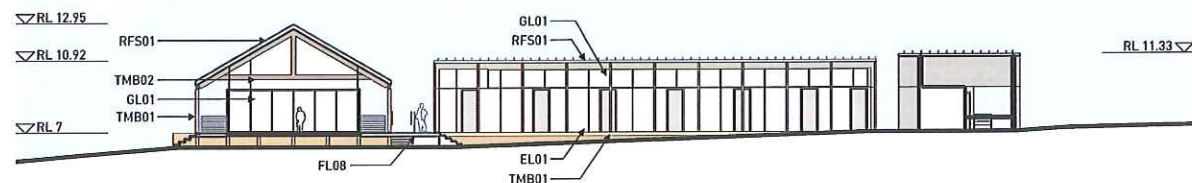
STATUS
DEVELOPMENT APPLICATION

SCALE @ A1 1:200
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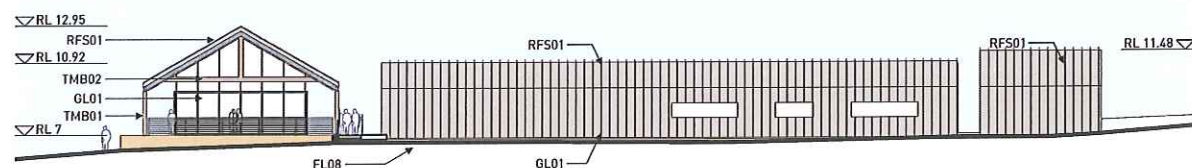
PROJECT NO. 13-033	DRAWING NO. ADA 200	ISSUE 01
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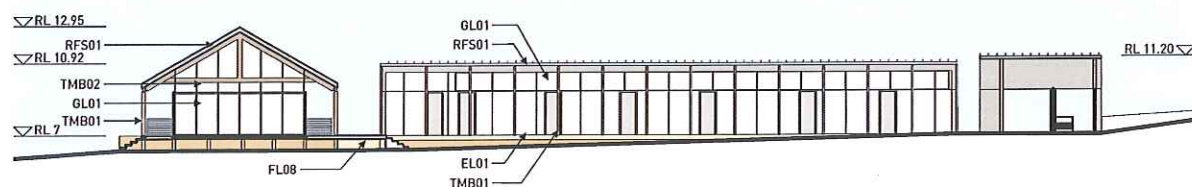
ELEVATION K - SENIOR WEST



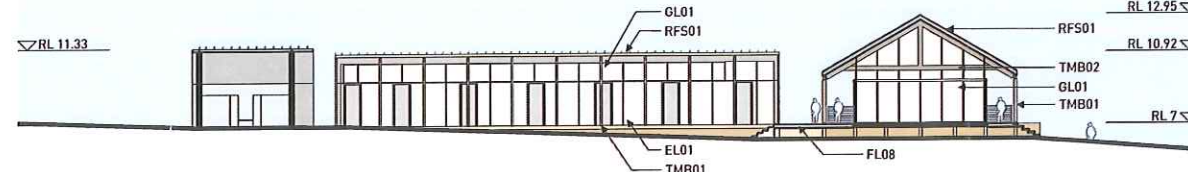
SECTION M - SENIOR WEST



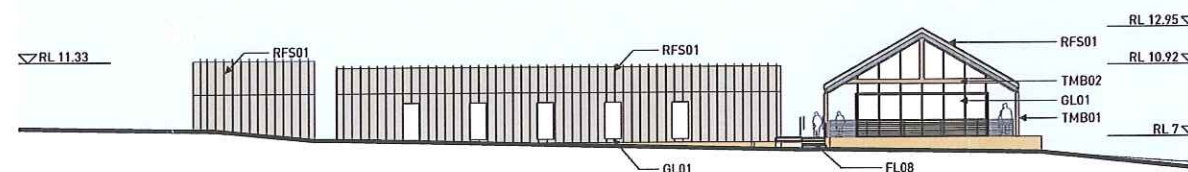
ELEVATION P - JUNIOR WEST



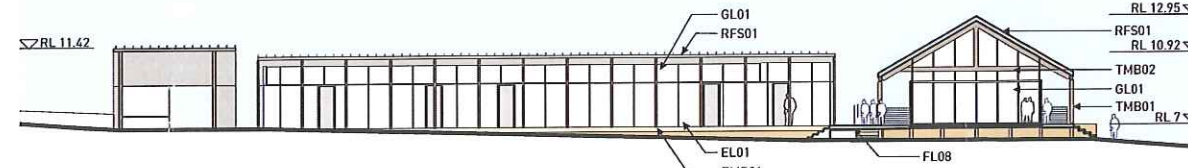
SECTION S - JUNIOR WEST



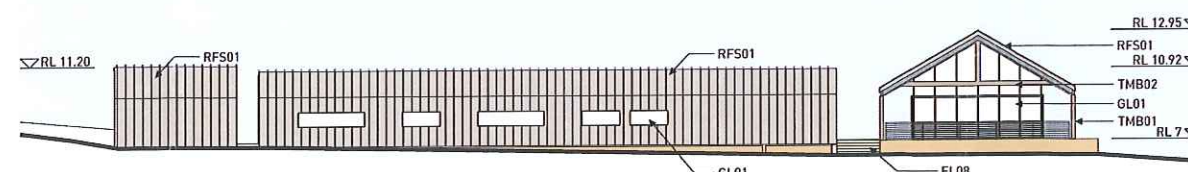
SECTION L - SENIOR EAST



ELEVATION N - SENIOR EAST

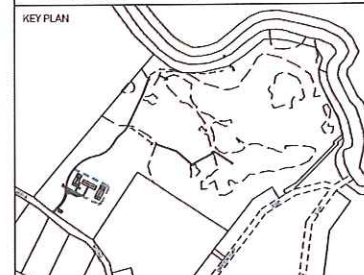


SECTION R - JUNIOR EAST



ELEVATION T - JUNIOR EAST

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 - EL01 Stained Plywood Cladding
 - EWS01 Rammed Earth Wall
 - FL08 Hardwood Timber Decking
 - GL01 Double Glazed Panel within Aluminium Frame
 - GL06 Double Glazed Panel Skylight with Aluminium Frame
 - TMB01 Hardwood Timber Column
 - TMB02 Hardwood Timber Truss
 - RFS01 Standing Seam Roof

1 DEVELOPMENT APPLICATION 03 CC 25.07.14

REV DESCRIPTION BY CHK DATE

CONSULTANT TEAM
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TOWN PLANNER
COWMAN STODDART
STRUCTURAL
JONES NICHOLSON
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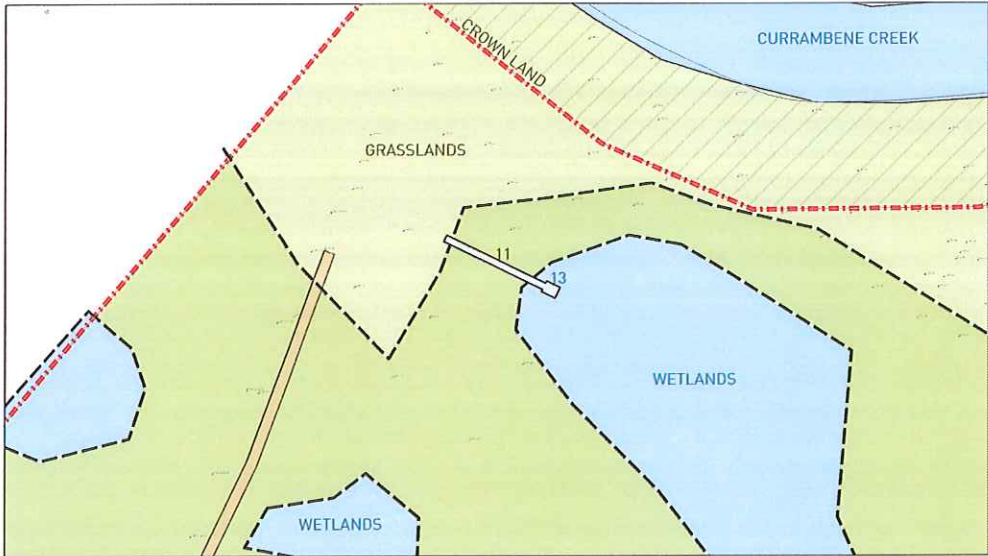
PROJECT
Trinity Grammar School Environmental Centre

DRAWING TITLE
ELEVATIONS 02

STATUS
DEVELOPMENT APPLICATION

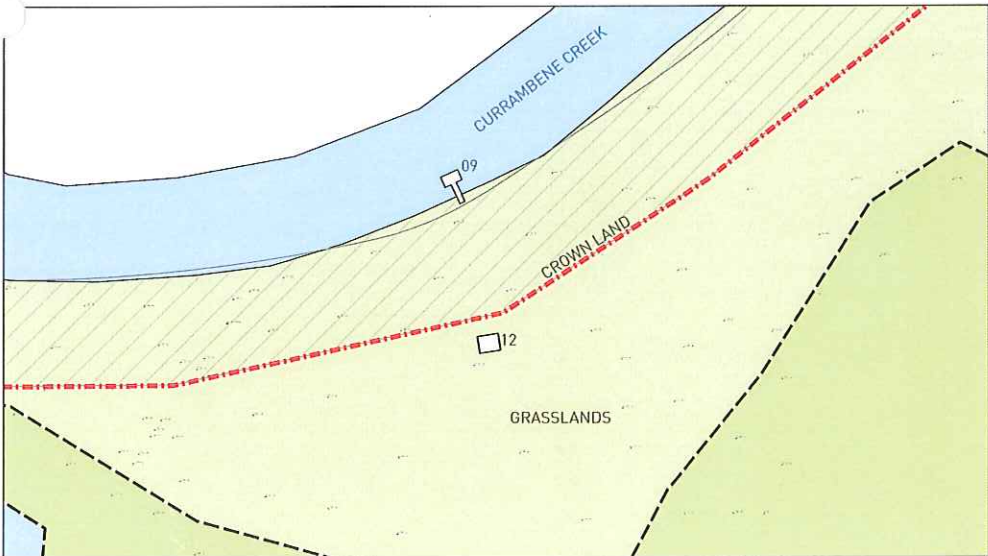
SCALE @ A1 1:200
0 5 10m

PROJECT NO. 13-033 DRAWING NO. ADA 201 ISSUE 1



01 - SITE PLAN - 30M BOARDWALK

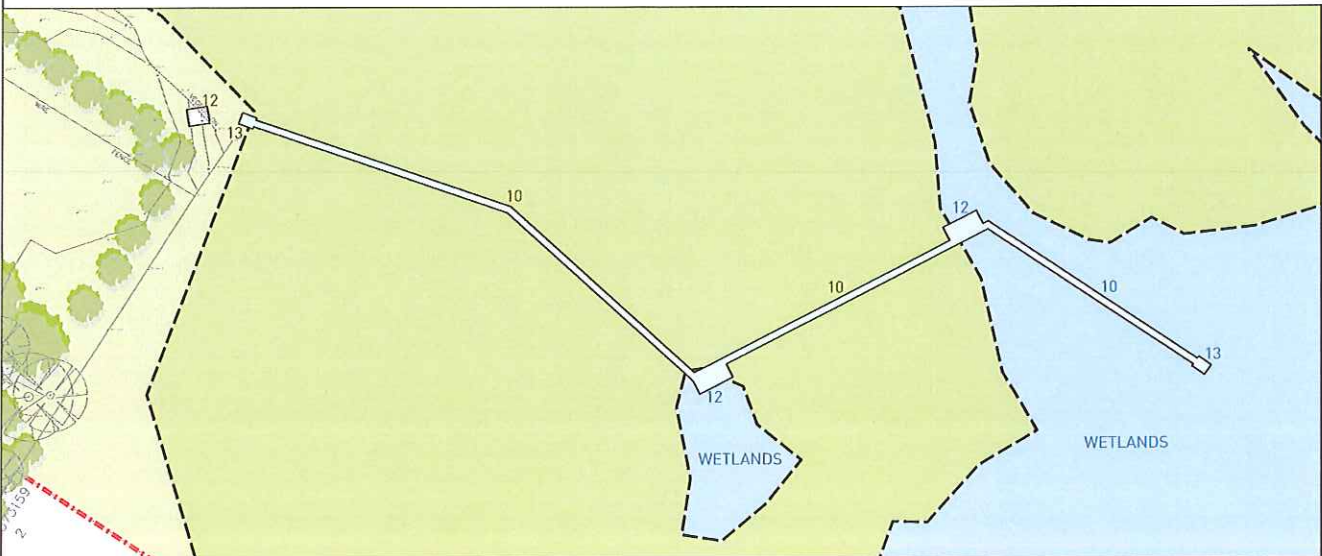
[PLAN DETAIL 01] SHOWS A 30M LONG BOARDWALK (ITEM 10) WHICH WILL BE NO GREATER THAN +800MM ABOVE THE GROUND LEVEL AND NO BALUSTRADES WILL BE REQUIRED. THE BOARDWALK WILL CROSS FROM THE OPEN GRASSLANDS INTO THE WETLANDS. THE APERTURES IN THE FLOOR GRATING WILL BE NO GREATER THAN 13MM. THERE WILL BE AN ATTACHED VIEWING PLATFORM (ITEM 13) WITHIN THE WETLANDS.



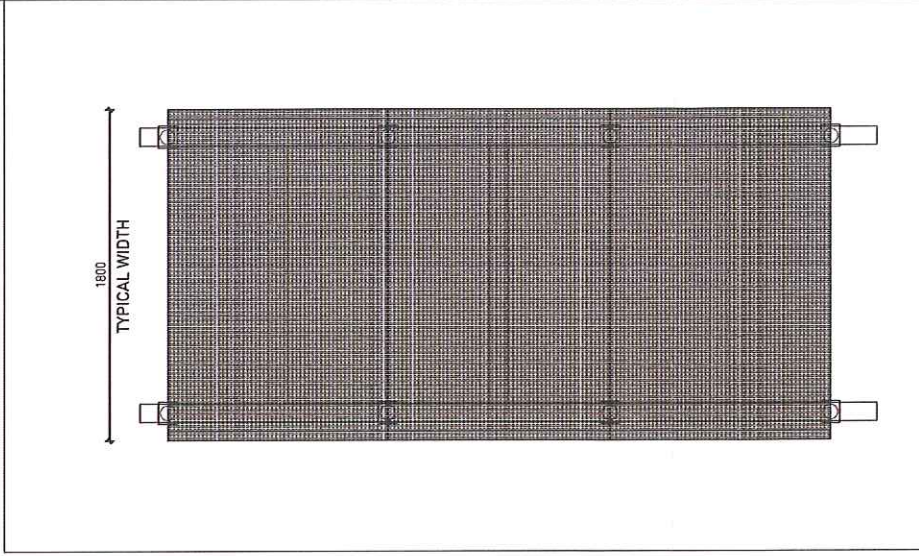
02 - SITE PLAN - WORK PLATFORM

[PLAN DETAIL 02] SHOWS A WORK PLATFORM (ITEM 12) NO GREATER THAN +800MM ABOVE THE GROUND LEVEL WITH 1 TO 3 STAIRS FOR ACCESS AS REQUIRED AND NO BALUSTRADES WILL BE REQUIRED. THE APERTURES IN THE FLOOR GRATING WILL BE NO GREATER THAN 13MM. THERE WILL BE AN ATTACHED VIEWING PLATFORM WITHIN THE WETLANDS.

[PLAN DETAIL 03] SHOWS A 300M LONG BOARDWALK (ITEM 10) WHICH WILL BE NO GREATER THAN +800MM ABOVE THE GROUND LEVEL AND NO BALUSTRADES WILL BE REQUIRED. THE BOARDWALK WILL CROSS FROM THE RU2 ZONE INTO THE WETLANDS. THE APERTURES IN THE FLOOR GRATING WILL BE NO GREATER THAN 13MM. THERE WILL BE AN ATTACHED VIEWING PLATFORM AT EACH END (ITEM 13), WITH 2 WORK PLATFORMS (ITEM 12) SITED ALONG THE ROUTE. THERE WILL BE AN ADDITIONAL WORK PLATFORM WITHIN THE RU2 ZONE, NEAR THE START OF THE BOARDWALK. WORK PLATFORM NO GREATER THAN +800MM ABOVE THE GROUND LEVEL WITH 1 TO 3 STAIRS FOR ACCESS AS REQUIRED.



03 - SITE PLAN - 300M BOARDWALK



TYPICAL PLAN OF BOARDWALK



TYPICAL SECTION OF BOARDWALK



IMAGE - EXAMPLE OF BOARDWALK

NOTES

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3. All dimensions shall be verified on site before proceeding with the work. Any shall be notified in writing of any discrepancies.
4. This drawing must be read in conjunction with all relevant contracts, specifications, reports and drawings.
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KEY PLAN

LEGEND:

- Crown Land
- New 200mm Deep All Weather Gravel Track
- Existing Track
- 4m Wide Fire Vehicle Access
- Boundary
- 1% AEP Flood Level
- Trees To Be Removed Shown Dashed Outlined

APZ

- 01 Asset Protection Zone
- 02 Woolamia Road Entry Point
- 03 Existing Shed
- 05 Reuse Of Existing Carport For Screened Service Yard / Main Refuse Store
- 06 Sealed Road
- 07 Main Site Location
- 08 Caretakers Residence - Future Development
- 09 Not Part Of This DA
- 10 Not Part Of This DA
- 11 Not Part Of This DA
- 12 30m Raised Boardwalk
- 13 30m Raised Boardwalk
- 14 Raised Working Platform
- 15 Raised Viewing Platform
- 16 Visitor Day Parking On Grass
- 17 Pumpout Tank & Vehicle Turn Around
- 18 Min Bus Parking
- 19 Car Parking
- 20 Coach Drop Off Point
- 21 Gas Bottle Store & Vehicle Turn Around
- 22 Accessible Parking
- 23 Main Entrance Path
- 24 Senior Accommodation
- 25 Long House
- 26 Junior Accommodation
- 27 Fire Pit
- 28 Living Room
- 29 4 Bed Student Accommodation
- 30 8 Bed Student Accommodation
- 31 Staff Accommodation
- 32 Accessible Accommodation/Sick Bay
- 33 Shower/Change Room
- 34 Toilets
- 35 Accessible Shower/Toilet
- 36 Laundry
- 37 Kitchen Store
- 38 Cool Room
- 39 Kitchen
- 40 Multi-Purpose Hall
- 41 Entrance Bridge
- 42 Under Cover Area
- 43 Class Room
- 44 Staff Room
- 45 Management Office
- 46 Gymnas Room
- 47 Storage
- 48 Plant Room
- 49 Book/Drying Room

01	DEVELOPMENT APPLICATION	JL	CC	25.07.14
REV	DESCRIPTION	BY	CHK	DATE

CONSULTANT TEAM

PROJECT MANAGER

MIDSON GROUP P/L

TOWN PLANNER

COWMAN STODDART

STRUCTURAL

JONES NICHOLSON

MECHANICAL & ELECTRICAL

JHA

FLORA FAUNA & BUSHFIRE

ECOLOGICAL AUSTRALIA

CLIENT

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ARCHITECT

BUILDING STUDIO.

Building Studio Architects Pty Ltd

Studio 101, 44 Market Street, SYDNEY NSW 2000

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nominated architect: Gerard Outram NSW ARB 6314

PROJECT

Trinity Grammar School

Environmental Centre

DRAWING TITLE

SITE WORKS

STATUS

DEVELOPMENT APPLICATION

SCALE @ A1

0 50m 100m

NORTH

PROJECT NO.	DRAWING NO.	ISSUE
13-033	ADA 240	01

Original Sheet Size A1 - 841 x 594mm



VIEW 01 - MAIN SITE NORTHERN ELEVATION



VIEW 02 - AERIAL VIEW MAIN SITE



VIEW 03 - APPROACH TO THE HUB

NOTES

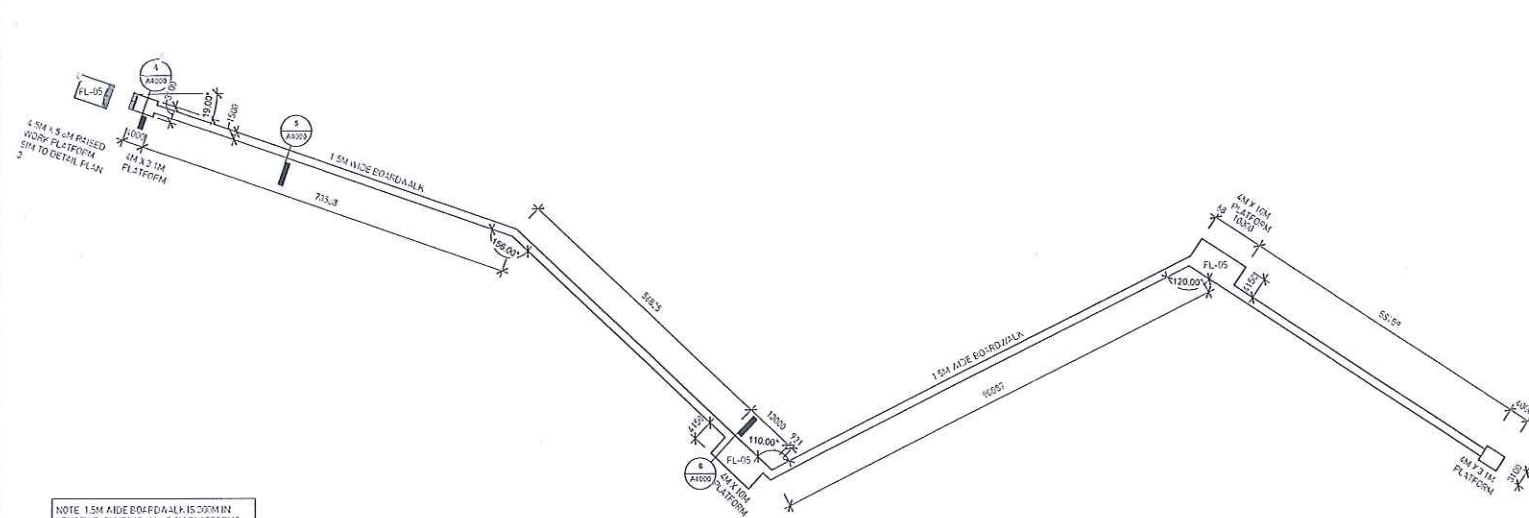
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KEY PLAN

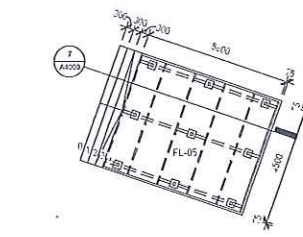
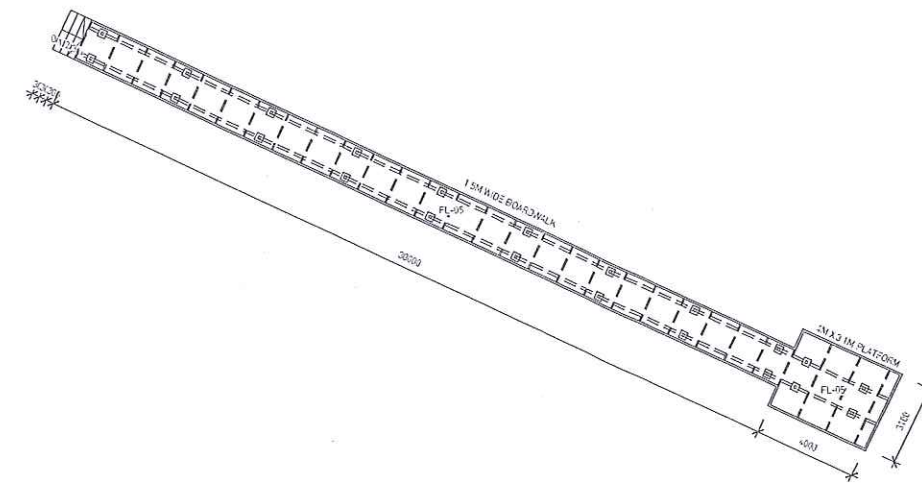
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REV	DESCRIPTION	BY	CHK	DATE
CONSULTANT TEAM				
PROJECT MANAGER				
MIDSON GROUP P/L				
TOWN PLANNER				
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ECOLOGICAL AUSTRALIA				
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nominated architect, Gerard Outram NSW ARB #314				
PROJECT				
Trinity Grammar School				
Environmental Centre				
DRAWING TITLE				
PERSPECTIVE VIEWS 01				
STATUS				
DEVELOPMENT APPLICATION				
SCALE @ A1 NTS				
PROJECT NO.	DRAWING NO.	ISSUE		
13-033	ADA 300	01		

Original Sheet Size A1 - 841 x 594mm

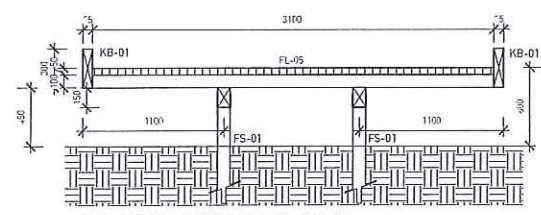


1 BOARDWALK - 300M
1:500

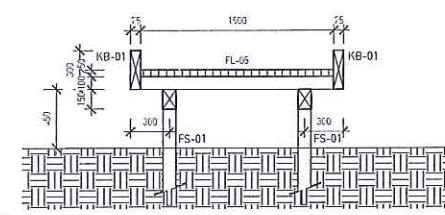
2 BOARDWALK - 30M
1:100



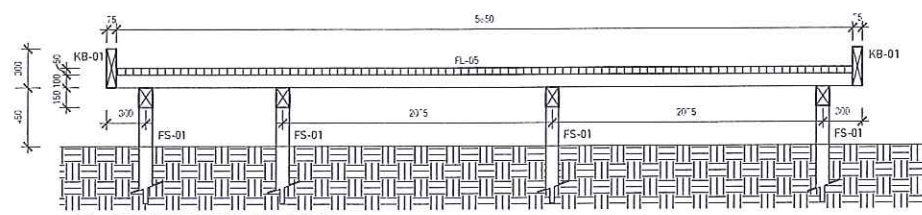
3 WORK PLATFORM - TYPICAL
1:100



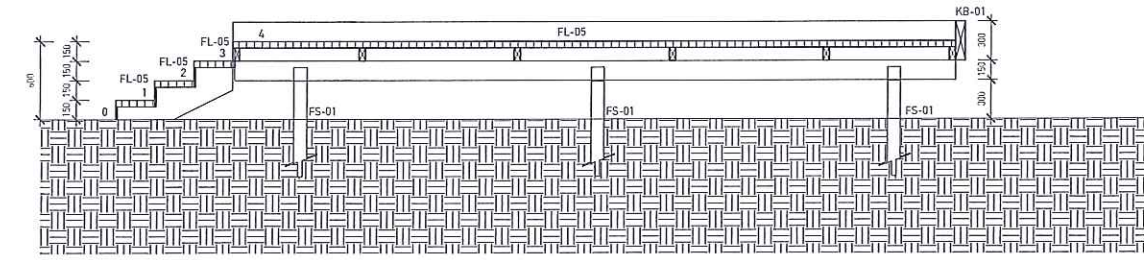
4 BOARDWALK SECTION 01 - TYPICAL
1:20



5 BOARDWALK SECTION 02 - TYPICAL
1:20



6 BOARDWALK SECTION 03 - TYPICAL
1:20



7 WORK PLATFORM SECTION
1:20



IMAGE - EXAMPLE OF BOARDWALK

NOTES:

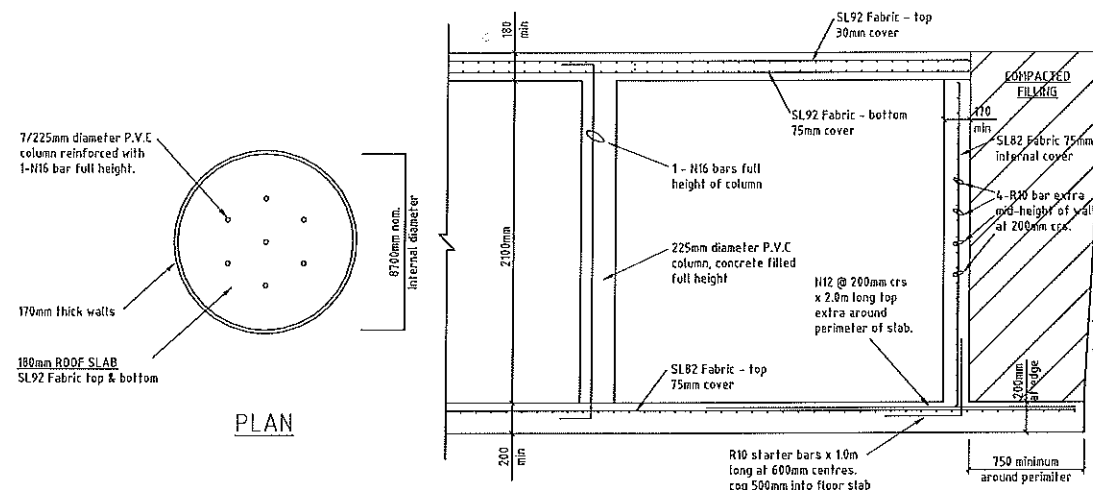
FL-05 - ENVIROWALK MINI MESH (OR SIM), SPAN 1200MM, HEIGHT 50.8MM, COLOUR: LIGHT GREY.
FS-01 - FOUNDATION SYSTEM, CHANGE INSTANT FOUNDATION SYSTEM (OR SIM).
KB-01 - TIMBER KICK BOARD TO EXTEND 150MM ABOVE FLOOR GRATING.

A. BOARDWALK, WORK PLATFORMS AND VIEWING PLATFORMS TO BE NO GREATER THAN 600MM ABOVE THE GROUND.
B. THERE WILL BE NO BALUSTRADES, EXCEPT WHERE THE BOARDWALK IS REQUIRED TO BE HIGHER FOR ECOLOGICAL PURPOSES TO IMPROVE LIGHT PENETRATION AND AIR CIRCULATION.
C. THE BOARDWALKS WILL PROVIDE ACCESS FROM OPEN GRASSLANDS INTO THE WETLANDS.
D. THE APERTURES IN THE FLOOR GRATING WILL BE NO LESS THAN 13MM X 13MM.
E. STAIRS WILL BE PROVIDED TO PLATFORMS AND BOARDWALKS FOR ACCESS WHERE SHOWN.
F. ALL OVERALL DIMENSIONS ARE INDICATIVE FOR THE PURPOSES OF TENDERING. LOCATIONS TO BE FINALISED ON SITE IN CONJUNCTION WITH ECOLOGIST CONSULTANT.
G. REFER TO STRUCTURAL ENGINEERS DOCUMENTATION FOR MEMBER SIZES + SPECIFICATIONS & FOUNDATION DESIGNS.

SCANNED

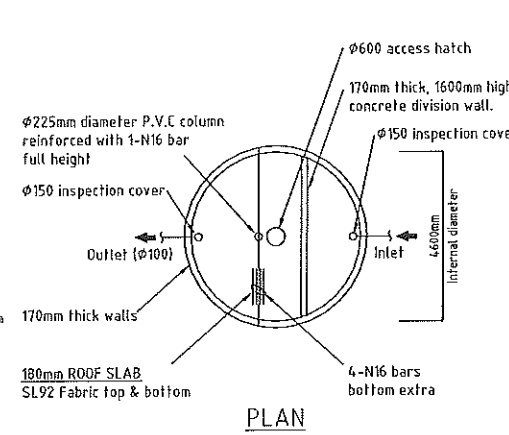
REVISED
24 OCT 2014

<p>NOTES:</p> <p>Do not scale drawings. Refer to dimensions given.</p> <p>All dimensions are in millimetres unless stated otherwise.</p> <p>All dimensions shall be as indicated on drawings, including any dimensions shown on drawings.</p> <p>This drawing is to be used for construction only and is not to be used for any other purpose.</p> <p>Copyright © 2014 Building Studio Architects Pty Ltd.</p>	<p>REVISION</p>	<p>CLIENT: TRINITY GRAMMAR SCHOOL</p> <p>PROJECT: ENVIRONMENTAL & FIELD STUDIES CENTRE</p> <p>ARCHITECT: BUILDINGSTUDIO.</p> <p>PROJECT NO: 13-033</p> <p>DATE: 24 OCT 2014</p>	<p>CONSULTANT TEAM</p> <p>PROJECT MANAGER: MORGAN O'DRISCOLL</p> <p>DESIGNER: COLEMAN-STODART</p> <p>STRUCTURAL: JONES NICHOLSON</p> <p>MECHANICAL & ELECTRICAL: JHA</p> <p>PLUMBING & HEATING: ECOLOGICAL LUSTIPAL</p>	<p>CLIENT: TRINITY GRAMMAR SCHOOL</p> <p>PROJECT: ENVIRONMENTAL & FIELD STUDIES CENTRE</p> <p>ARCHITECT: BUILDINGSTUDIO.</p> <p>PROJECT NO: 13-033</p> <p>DATE: 24 OCT 2014</p>	<p>BOARDWALK</p> <p>TENDER</p> <p>13-033</p> <p>A4000</p> <p>A</p>
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NOTES

1. All dimensions in millimeters.
2. Tanks to be fitted with one vent pipe.
3. Base of tank to be excavated to bearing on firm uniform natural ground with a safe bearing capacity of at least 200kPa.
4. All backfill material around tank is well compacted granular material.
5. Concrete mix is S40 in accordance with AS3600 and have a slump of 80mm.
6. Reinforcement to be supported on bar chairs spaced at 600mm centres both ways. Lap one uncured wire panel plus 25mm at splices.
7. The roof slab is designed for total loading of 3.0kPa.
8. The tank has been designed in accordance with the requirements of "Concrete Structures for Retaining Liquids, AS3735" and "Concrete Structures, AS3600" for use with sewerage and waste water, Exposure Classification D.



DETAIL - TYPICAL SECTION

30,000 LITRE SEPTIC TANK N.T.S.

LEGEND

- P0 — PUMP DISCHARGE (PRESSURISED)
— S — SEWER DRAINAGE (GRAVITY)

SEWERAGE SYSTEM CALCULATIONS

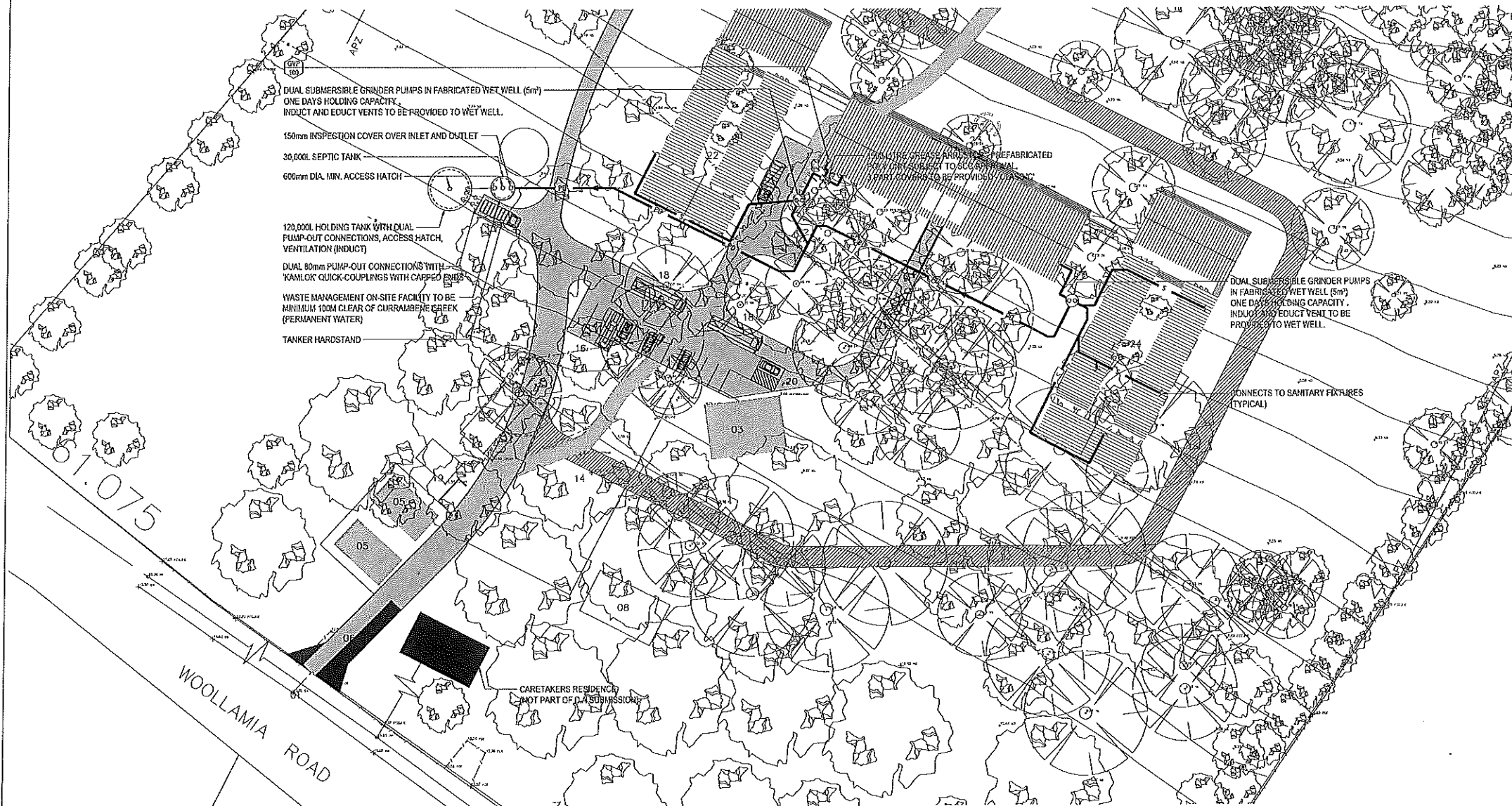
REFERENCE:

SHOALHAVEN CITY COUNCIL 'ON-SITE SEWAGE MANAGEMENT DCP No. 78 AND NSW HEALTH DEPARTMENT' SEPTIC TANK AND COLLECTION WELL ACCREDITATION GUIDELINE, DEC 2001

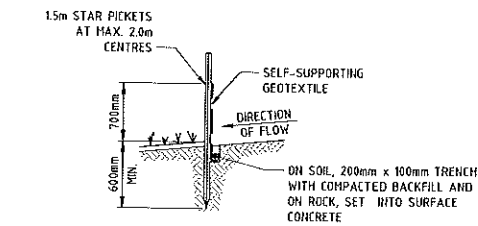
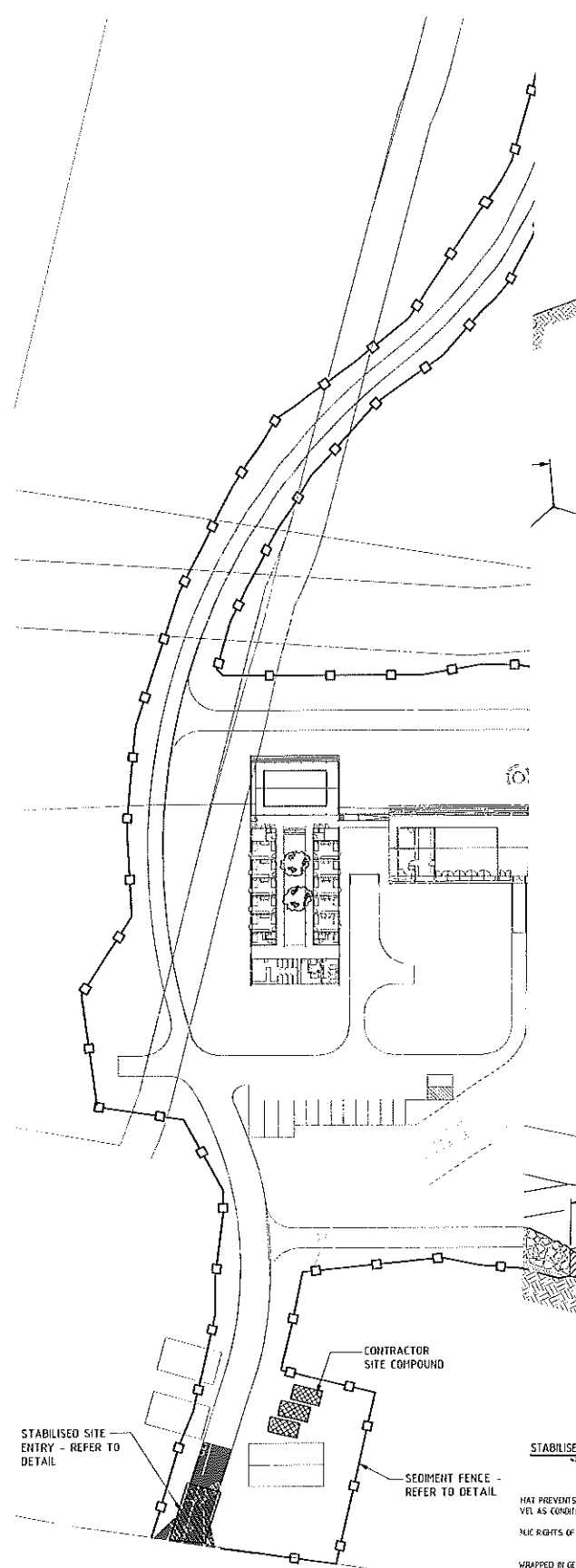
SEWAGE WASTE MANAGEMENT SYSTEM

THE WASTE MANAGEMENT FACILITY FOR THE ENVIRO CENTRE IS TO INCORPORATE THE FOLLOWING:
(i) TWO PUMP-OUTS (WET WELLS) WITH DUAL GRINDER PUMPS, FLOAT SWITCH OPERATED AND WITH HIGH LEVEL ALARM.
(ii) SEPTIC TANK (30,000L)
(iii) COLLECTION / HOLDING TANK (120,000L) WITH CONTENTS REMOVAL BY SHOALHAVEN CITY COUNCIL APPROVED PUMP-OUT CONTRACTOR

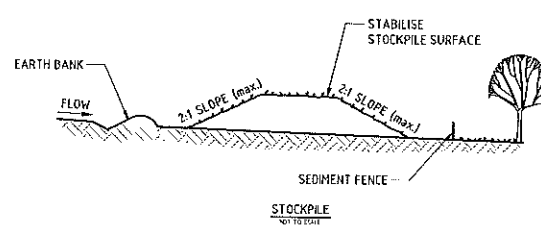
- (i) TOTAL SITE POPULATION (88 STUDENTS + 10 STAFF) = 98 PERSONS
(ii) VISITORS - 6 TIMES A YEAR (STUDENT FAMILIES WILL VISIT FOR A DAY) 60 - 80 PERSONS
(iii) EFFLUENT DISCHARGE FROM EP (EQUIVALENT POPULATION)
(A) 98 PERSONS x 65 LITRES (OVERNIGHT STAYS) / DAY (EP)
= 6,370L
(B) 80 PERSONS x 25 LITRES PER PERSON / DAY VISITORS
= 2,000L
(iv) TOTAL OF MOST DISADVANTAGED DAILY CAPTURE (8428 + 2000) STUDENTS AND VISITORS
= 10,428 LITRES / DAY
(v) TOTAL OF MOST DISADVANTAGED DAILY CAPTURE (NO VISITORS)
= 8,428 LITRES / DAY
(vi) TOTAL OF MOST DISADVANTAGED WEEKLY CAPTURE + VISITORS (7 x 8428) + 2000
= 60,996 LITRES / WEEK
(vii) TOTAL OF MOST DISADVANTAGED WEEKLY CAPTURE - NO VISITORS (7 x 8428)
= 58,996 LITRES / WEEK
(viii) WE NEED TO PROVIDE FOR (vi) (8428 x 7) + 2000L
= 60,996 LITRES / WEEK
(ix) PROPOSED SEPTIC TANK SIZE TO BE UTILISED 4.7M INT. DIA. x 2.35M (HIGH) = 30,000L
(x) HOLDING TANK PROPOSED (2 WEEKS CAPACITY APPROX) = 120,000L (PROPRIETARY ITEMS - CONCRETE INSITU STORAGE TANK) (DIMENSIONS = 8.7M INT. DIA. x 2.35M (HIGH))
(xi) PUMP-OUT UNITS TO INCORPORATE DUAL GRINDER PUMPS WITH 5m³ (6000L CAPACITY / ONE DAY STORAGE CAPACITY), HIGH LEVEL ALARM TO BE FITTED TO BOTH PUMP-OUT UNITS ALARMING THE ADMINISTRATION OFFICE / MONITORING POINT
(xii) HOLDING TANK TO BE PUMPED OUT IN ACCORDANCE WITH SHOALHAVEN CITY COUNCIL REQUIREMENTS AND THE CONTENTS RELAYED IN AN APPROVED VEHICLE TO THE SANITARY DEPOT FOR DISPOSAL
(xiii) INSTALLATION TO INCORPORATE 3 / 6 LITRE FLUSH WC AND MANUAL OPERATED URINAL FLUSHING DEVICES



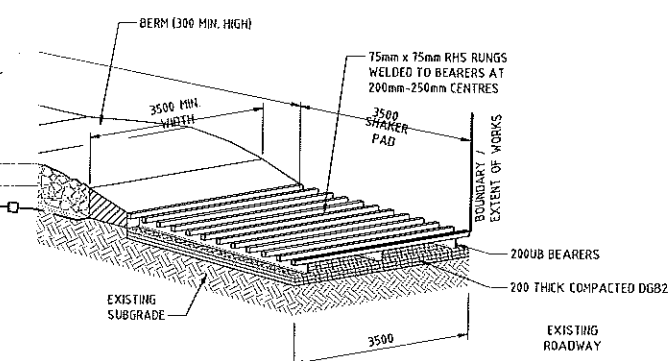
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A	29-07-2014	DA Submission	DJC	LOG	SERVICE ARCH MECH STRUCT ELEC CIVIL	DRAWING NUMBER XA-ADA-000 Road Landscape Roof Plan ISSUE 01 DATE 10.07.2014	BUILDING STUDIO. Building Studio Architects Pty Ltd. Studio 901, 46 Market Street, SYDNEY NSW 2000 +612 9299 6690 www.buildingstudio.com.au nominated architect: Gerard Outram NSW ARB 6314	EFWF Hydraulics-Fire-Environmental Suite 5, Level 1 330 Wattle Street Ultimo NSW Phone: (02) 9212 1000 Fax: (02) 9212 1001 E-mail: ewfw@ewfw.com.au	TRINITY GRAMMAR SCHOOL ENVIRONMENTAL AND FIELD STUDIES CENTRE WOOLLAMIA	HYDRAULIC SERVICES SEWERAGE SYSTEM LAYOUT	20604-001 - H-H01-DA-A	DJC Design Validated: LDB Amendment Approved: CT Date: 03.05.2014 Job No: 20604-001 - H-H01-DA-A Scale: (A1) 1:500 Disc: Stage: Issues:



- NOTES:**
1. CONSTRUCT SEDIMENT FENCES AS CLOSE AS POSSIBLE TO BEING PARALLEL TO THE CONTOURS OF THE SITE, BUT WITH SMALL RETURNS AS SHOWN IN THE DRAWINGS TO LIMIT THE CATCHMENT AREA OF ANY ONE SECTION. THE CATCHMENT AREA SHOULD BE SMALL ENOUGH TO LIMIT WATER FLOW IF CONCENTRATED AT ONE POINT TO 50% IN THE DESIGN STORM EVENT, USUALLY THE 10-YEAR EVENT.
 2. CUT A 200mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
 3. DRIVE 1.5m LONG STAR PICKETS INTO GROUND AT 2.0m INTERVALS (MAX) AT THE DOWNSLOPE EDGE OF THE TRENCH. ENSURE ANY STAR PICKETS ARE FITTED WITH SAFETY CAPS.
 4. FIX SELF-SUPPORTING GEOTEXTILE TO THE UPSLOPE SIDE OF THE PICKETS ENSURING IT GOES TO THE BASE OF THE TRENCH. FIX THE GEOTEXTILE WITH HOE TIES OR AS RECOMMENDED BY THE MANUFACTURER. ONLY USE GEOTEXTILE SPECIFICALLY PRODUCED FOR SEDIMENT FENCING. THE USE OF BUCK CLOTH FOR THIS PURPOSE IS NOT SATISFACTORY.
 5. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 150mm OVERLAP.
 6. BACKFILL THE TRENCH OVER THE BASE OF THE FABRIC AND COMPACT IT THOROUGHLY OVER THE GEOTEXTILE.



- NOTES:**
1. PLACE STOCKPILES MORE THAN 2 (PREFERABLY 5) METRES FROM EXISTING VEGETATION, CONCENTRATED WATER FLOW, ROADS AND HAZARD AREAS.
 2. CONSTRUCT ON THE CONTOUR AS LOW, FLAT, ELONGATED MOUNDS.
 3. WHERE THERE IS SURFACED AREA, TOPSOIL STOCKPILES SHALL BE LESS THAN 2 METRES IN HEIGHT. 4. WHERE THEY ARE TO BE IN PLACE FOR MORE THAN 10 DAYS, STABILISE FOLLOWING THE APPROVED ESCP OR SWMP TO REDUCE THE C-FACTOR TO LESS THAN 0.5.
 5. CONSTRUCT EARTH BANKS ON THE UPSLOPE SIDE TO DIVERT WATER AROUND STOCKPILES AND SEDIMENT FENCES 1 TO 2 METRES DOWNSLOPE.



STABILISED SITE ACCESS
NOT TO SCALE

HAT PREVENTS TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS OF WAY, VET AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP

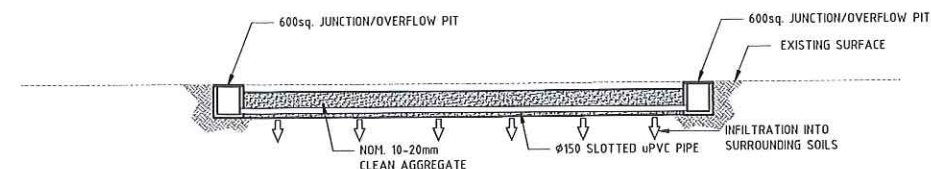
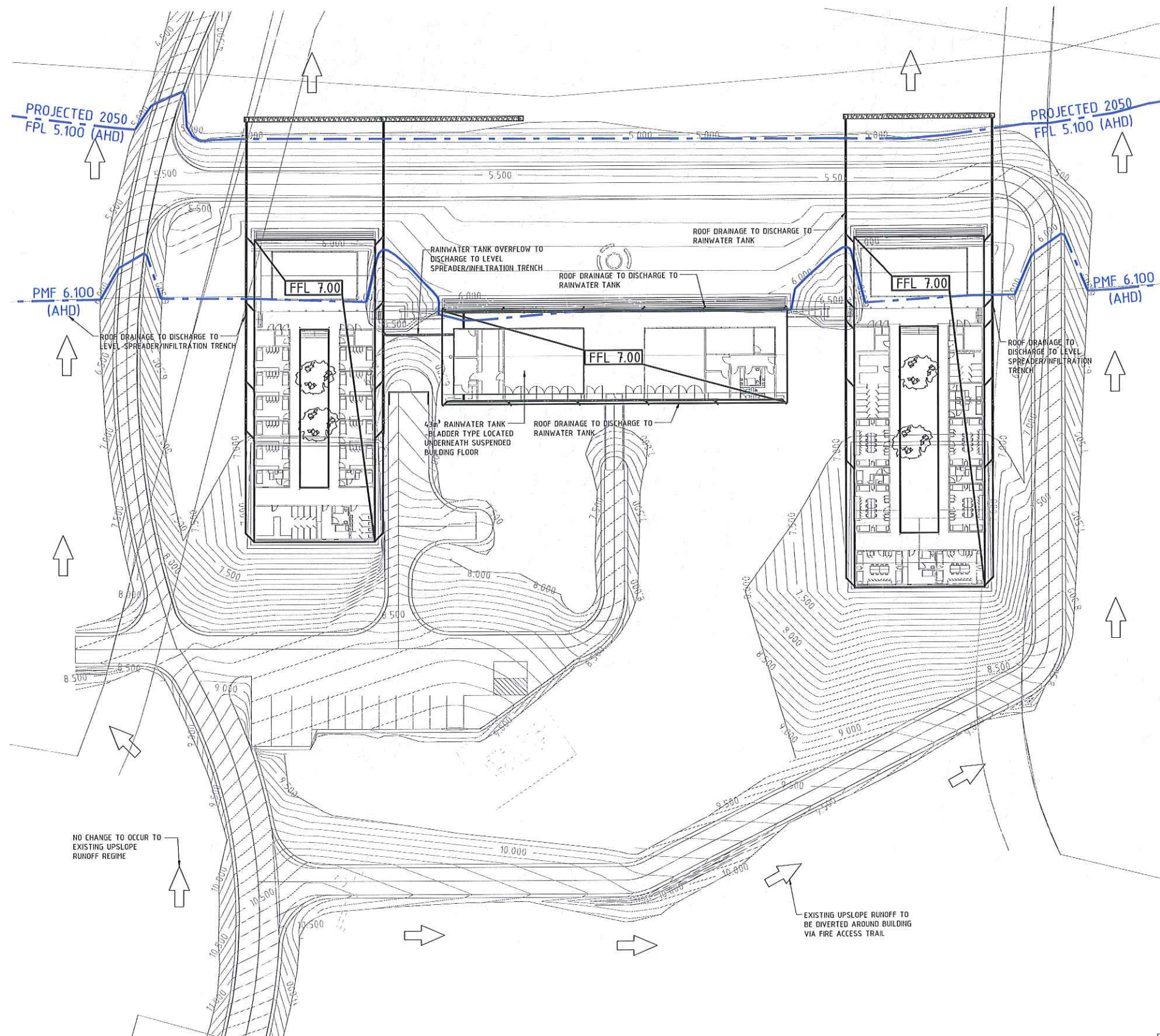
N/C RIGHTS OF WAY MUST BE REMOVED IMMEDIATELY.

WRAPPED IN GEOTEXTILE FABRIC

FOR INFORMATION

Issue	Date	Amendment	Int.	App.	COORDINATED REFERENCE DRAWINGS	No.
01	25.07.14	DA	INV	LO	SERVICE DRAWING NUMBER	1554
					ARCH	
					STRUC	
					MECH	
					ELEC	
					CIVIL	

CONCEPT EROSION & SEDIMENT CONTROL PLAN		North Point:	Design: INV
		Drawn: INV	Design Validated:
		QA Check:	
Date: 04.05.14	Scale: (A1) 1:100	Sheet: 01 OF 01	
Job No: 20604.001 - C - 201 - P - 01	Disc: Dwg No	Stages: Revs:	



TYPICAL LEVEL SPREADER/INFILTRATION TRENCH DETAIL

DESIGN NOTES - GENERAL

1. STORMWATER DRAINAGE SYSTEM DESIGN TO CONSIST OF TWO SYSTEMS, A MINOR AND A MAJOR SYSTEM. MINOR SYSTEM IS TO CONSIST OF PIT AND PIPE NETWORK & DESIGNED TO CONVEY THE 5% AEP. MAJOR SYSTEM IS TO CONSIST OF DEFINED OVERLAND FLOWS AND DESIGNED TO CONVEY THE GAP FLOW BETWEEN THE 5% AEP AND THE 1% AEP.
2. STORMWATER DRAINAGE SYSTEM SHOWN IS CONCEPTUAL ONLY AND SUBJECT TO FINAL DETAILED DESIGN PRIOR TO CONSTRUCTION CERTIFICATE APPLICATION. DETAILS SHOWN ARE TO CONVEY INTENT ONLY.
3. ALL FINAL WORKS ARE TO BE UNDERTAKEN IN ACCORDANCE WITH SHOALHAVEN COUNCIL POLICIES AND GUIDELINES AND RELEVANT AUSTRALIAN STANDARDS.

SPECIFICATION

SITE WORKS - GENERAL

1. ALL WORKS ARE TO BE UNDERTAKEN IN ACCORDANCE WITH LOCAL COUNCIL, AUSTRALIAN AND AUTHORITY STANDARDS.
2. ALL TRENCHING WORKS ARE TO BE RESTORED TO ORIGINAL CONDITION.
3. THE INTEGRITY OF ALL EXISTING AND NEW SERVICES IS TO BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
4. ALL PLANS ARE TO BE READ IN CONJUNCTION WITH APPROVED ARCHITECTS AND OTHER CONSULTANT'S PLANS. ANY DISCREPANCIES ARE TO BE NOTIFIED TO THE ENGINEER FOR CLARIFICATION.

SITE WORKS - ACCESS AND SAFETY

1. ALL WORKS ARE TO BE UNDERTAKEN IN A SAFE MANNER IN ACCORDANCE WITH ALL STATUTORY AND INDUSTRIAL RELATION REQUIREMENTS.
2. ACCESS TO ADJACENT BUILDINGS AND PROPERTIES SHALL BE MAINTAINED AT ALL TIMES.
3. WHERE NECESSARY SAFE PASSAGE SHALL BE PROVIDED FOR VEHICLES AND PEDESTRIANS THROUGH OR ADJACENT TO THE SITE.

SPECIFICATION - STORMWATER

1. ALL WORKS ARE TO BE UNDERTAKEN IN ACCORDANCE WITH THE FOLLOWING AUSTRALIAN STANDARDS AS2032, AS3500 AND AS3725.
2. ALL PIPES LESS THAN OR EQUAL TO Ø300MM IN SIZE ARE TO BE SOLVENT WELD-JOINTED UPVC CLASS SH U.N.O.
3. ALL PIPES Ø375MM OR GREATER IN SIZE ARE TO BE MIN. CLASS 2 REINFORCED CONCRETE PIPE (RCP) OR FIBRE REINFORCED CONCRETE (FRC) RUBBER RING JOINTED (RRJ) U.N.O.
4. ALL PIPES ARE TO BE LAID AT MIN. 1.0% GRADE U.N.O.
5. PIPE BEDDING IS TO BE H52 UNDER ROADS AND TRAFFICKED AREAS AND SHALL BE H2 IN LANDSCAPED AND PEDESTRIAN TRAFFICKED AREAS U.N.O.
6. ALL PIPE BENDS AND JUNCTIONS ARE TO BE MADE WITH EITHER PURPOSE MADE FITTINGS OR STORMWATER DRAINAGE PITS.
7. MINIMUM COVER OF 300MM IS TO BE PROVIDED IN LANDSCAPED AREAS AND 600MM IN TRAFFICKED AREAS U.N.O.
8. IF REQUIRED CONCRETE ENCASEMENT IS TO BE UNDERTAKEN WITH 20MPA CONCRETE WITH A MIN. COVER OF 150MM TO ALL SIDES OF THE PIPE.
9. LAID PIPELINES ARE TO HAVE THE FOLLOWING CONSTRUCTED TOLERANCES:
 - a. HORIZONTAL - 1300 ANGULAR DEVIATION FROM REQUIRED ALIGNMENT;
 - b. VERTICAL - 1300 ANGULAR DEVIATION FROM REQUIRED ALIGNMENT.
10. ALL DRAINAGE PITS ARE TO BE CAST IN-SITU. PRECAST DRAINAGE PITS MAY BE USED WITH APPROVAL FROM THE ENGINEER. THE CONTRACTOR SHALL SUBMIT A PRECAST PIT INSTALLATION WORK METHOD STATEMENT FOR ASSESSMENT BY THE ENGINEER FOR APPROVAL.
11. DRAINAGE PIT COVERS ARE TO BE CLASS 'B' IN LANDSCAPED AND PEDESTRIAN TRAFFICKED AREAS AND CLASS 'D' IN ALL VEHICULAR TRAFFICKED AREAS U.N.O.
12. DRAINAGE PIT COVERS ARE TO BE GALVANISED STEEL OR CAST IRON U.N.O.

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FOR INFORMATION

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COORDINATED REFERENCE DRAWINGS			
SERVICE	DRAWING NUMBER	ISSUE	DATE
ARCH			
STRUC			
MECH			
ELEC			
CIVIL			

Client	TRINITY GRAMMAR SCHOOL
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Architect	BUILDING STUDIO
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nominated architect: Gerard Outram NSW ARB 6314	

Hydraulic Consultant:	EWFV
Hydraulic-Fire-Civil	
Suite 5, Level 1	330 Wattle Street
Ullimo NSW	
Phone: (02) 9212 1000	
Fax: (02) 9212 1001	
E-mail: ewfv@ewfv.com.au	

Project:	TRINITY GRAMMAR SCHOOL ENVIRONMENTAL CENTRE
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Drawing Title:	CONCEPT STORMWATER DRAINAGE PLAN
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North Point:	Design: MW
	Drawn: MW
	Design Validated:
	QA Check:
Date: 04.06.14	Scale: (A1) 1:100
Job No: 20604.001 - C - 401 - P - 01	Sheet: 01 OF 01
	Disc:
	Dwg No:
	Stage:
	Issue: